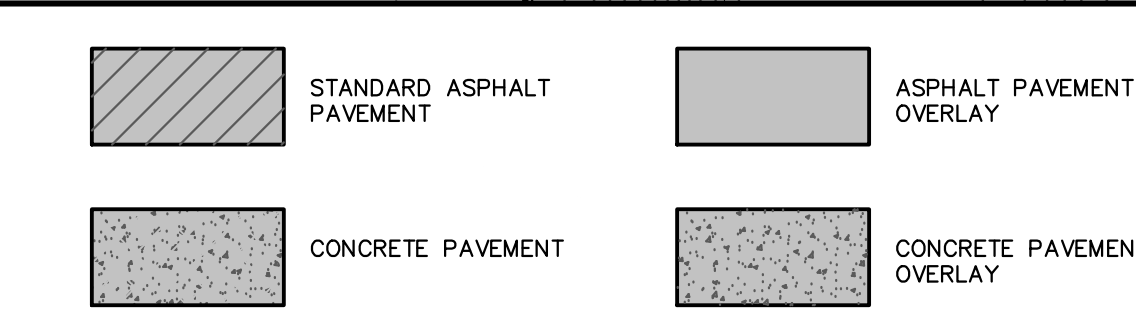


GENERAL NOTES:

- OWNER/DEVELOPER: HASH INVESTMENTS, LLC
P.O. BOX 1499
CHRISTIANSBURG, VA 24068
PROJECT LOCATION: 2267 PROSPECT DRIVE,
CHRISTIANSBURG, VA 24073
- TAX PARCEL NUMBER: 500-(A)-5T
LOT 12A-1B
- ALL WORK PROPOSED IN THESE PLANS IS TO BE DONE WITHIN THE ABOVE LISTED TAX PARCEL,
EASEMENTS OBTAINED, OR PUBLIC RIGHTS-OF-WAY.
- ZONING DISTRICT: 12 (GENERAL INDUSTRIAL)
SETBACKS:
FRONT= 30' FROM ANY STREET RIGHT-OF-WAY
REAR= 10' (MINIMUM FOR COMMON AREAS)
PARKING= 15' FROM RIGHT-OF-WAY
SIDE= 10' (MINIMUM FOR COMMON AREAS)
- LEGAL REFERENCE: INSTRUMENT NO.: 2010008528
- NO GRAVES, STRUCTURES, OR OBJECTS MARKING A PLACE OF HUMAN BURIAL WERE FOUND AT
TIME OF SURVEY.
- A PORTION OF THE SUBJECT PROPERTY DOES NOT LIE WITHIN A F.E.M.A. DESIGNATED 1%
ANNUAL CHANCE SPECIAL FLOOD HAZARD AREA ("SFHA"). A PORTION OF THE SUBJECT
PROPERTY LIES IN "SHADED ZONE 'X'" - OTHER FLOOD AREAS. THE REMAINDER OF THE
SUBJECT PROPERTY LIES IN "ZONE 'X'" - OTHER AREAS, AS DEFINED BY F.E.M.A. & AS SHOWN
ON F.I.R.M. MAP NO. 51121C0165C, EFFECTIVE DATE OF 09/25/2009. THIS DETERMINATION HAS
BEEN MADE BY GRAPHIC METHODS ONLY. NO ELEVATION STUDY HAS BEEN PERFORMED AS A
PART OF THIS PROJECT.
- ZONING/PLANNING AREAS
TOTAL PARCEL AREA: 283,140 S.F. (6.50 AC.)
TOTAL DISTURBED AREA: 8,312 S.F. (0.19 AC.)
TOTAL BUILDING AREA: 11,540 S.F. (FOOTPRINT)
BUILDING USE(S): AUTOMOBILE SERVICE STATION
BUILDING HEIGHT: LESS THAN 35 FEET
LOT COVERAGE (% IMP): 168,518 S.F. (59.52%)
- LANDSCAPING AREAS
GREENSPACE REQUIRED: 1,237 S.F. (20% OF FRONT YARD: 6,186 SF)
GREENSPACE PROVIDED: 5,243 S.F. (84.75% OF FRONT YARD)
- PARKING TABULATIONS
PARKING SPACES REQUIRED: 12 SPACES (3 SPACES FOR EACH SERVICE BAY OR PUMP)
ISLAND, WHICHEVER IS GREATER.)
PARKING SPACES PROVIDED: 12 SPACES
ACCESSIBLE SPACES REQUIRED: 1 SPACE
ACCESSIBLE SPACES PROVIDED: 1 SPACE
- CONTRACTOR SHALL VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS, PRIOR TO
STAKING BUILDING.
- A PRE-CONSTRUCTION MEETING WITH THE TOWN WILL BE HELD PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH TOWN OF CHRISTIANSBURG STANDARDS AND
SPECIFICATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET COMPLIANCE REQUIREMENTS WITH SECTION
59.1-406, ET SEQ. OF THE CODE OF VIRGINIA (OVERHEAD HIGH VOLTAGE LINES SAFETY ACT).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE
BEGINNING CONSTRUCTION.
- UNLESS SHOWN OR SPECIFIED OTHERWISE, METHODS AND MATERIALS SHALL BE IN ACCORDANCE
WITH VDOT ROAD AND BRIDGE STANDARDS, AND VDOT BRIDGE SPECIFICATIONS.
LATEST EDITIONS. SHOULD A LOCALITY HAVE SPECIFICATIONS OF ITS OWN, THE MORE
STRINGENT SHALL APPLY.
- MINIMUM PAVEMENT SHALL BE IN ACCORDANCE WITH THE PAVING DETAILS AS SHOWN.
CONTRACTOR TO ENSURE SMOOTH TRANSITION BETWEEN ALL PROPOSED AND EXISTING
ASPHALT.
- RIGHT-OF-WAY, LOT LINES AND EASEMENTS ARE DEDICATED ON PLATS SEPARATE FROM THESE
PLANS.
- BY THE END OF CONSTRUCTION, PROVIDE LEGIBLE, SURVEYED MARK-UPS OF AS-BUILT SITE
CONSTRUCTION ITEMS ON SITE PLANS TO THE OWNER FOR PREPARATION OF SITE RECORD
DRAWINGS.
- CONTRACTOR SHALL ENSURE THAT EGRESS FOR FIRE ACCESS FOR THE SITE IS MAINTAINED AT
ALL TIMES.
- MAINTAIN EMERGENCY SERVICE AND DELIVERY VEHICLE ACCESS TO THE SURROUNDING AREA
AND COORDINATE THIS WITH THE OWNER.
- ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SITE CONDITIONS OR ANY
INCONSISTENCIES OR AMBIGUITIES IN THE DRAWINGS SHALL BE IMMEDIATELY REPORTED TO THE
OWNER'S REPRESENTATIVE, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR
AMBIGUITIES. WORK DONE BY THE CONTRACTOR WITHOUT DIRECTION AFTER HIS DISCOVERY OF
SUCH INCONSISTENCIES OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.

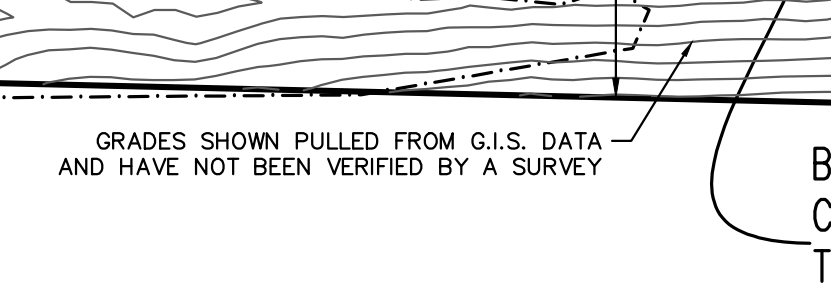
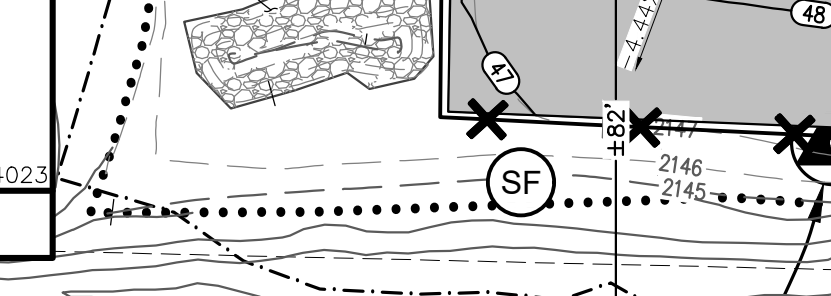
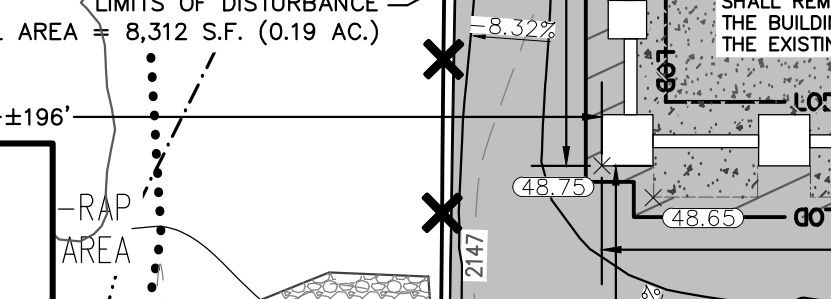
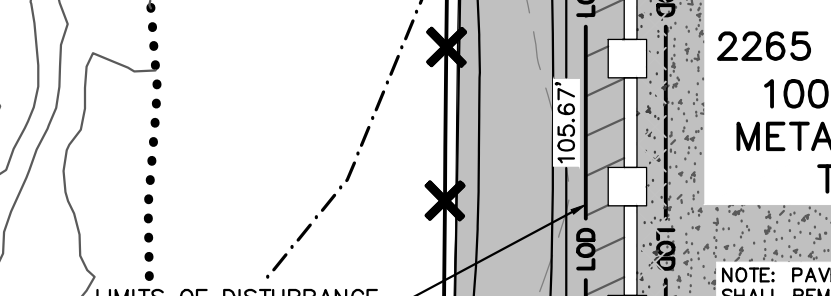
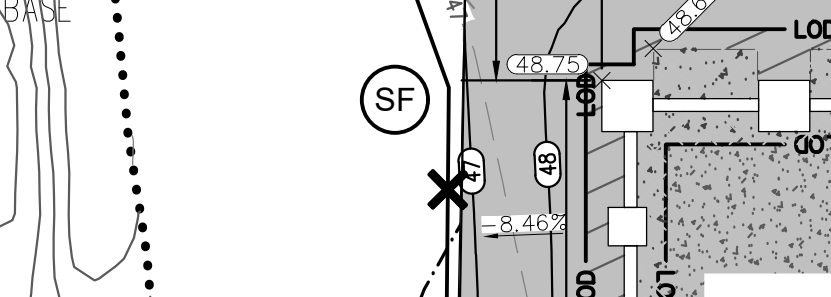
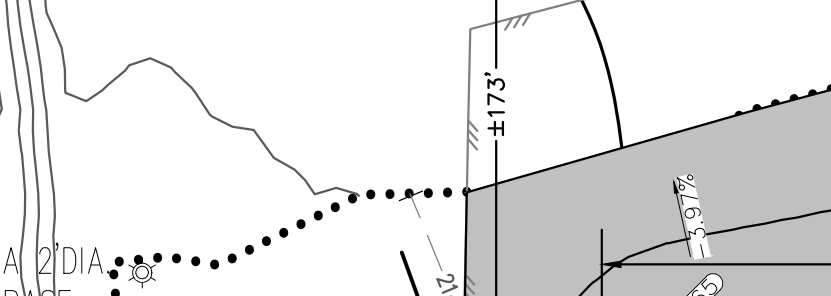
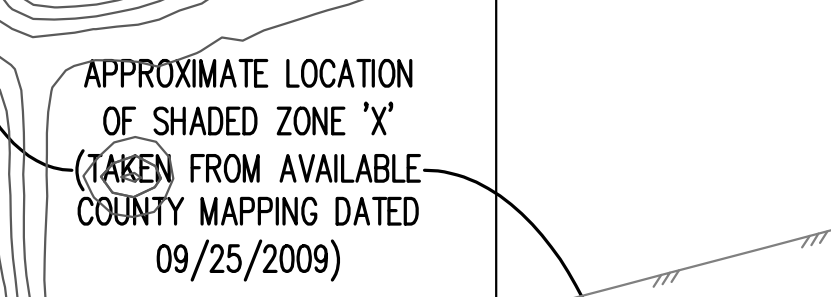
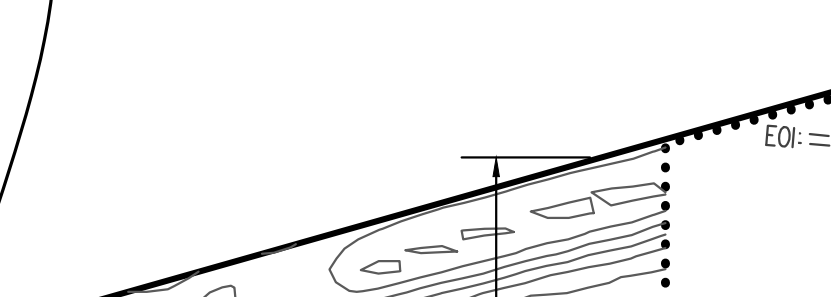
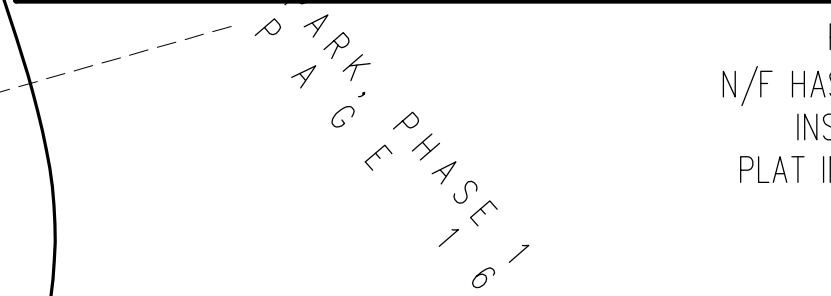
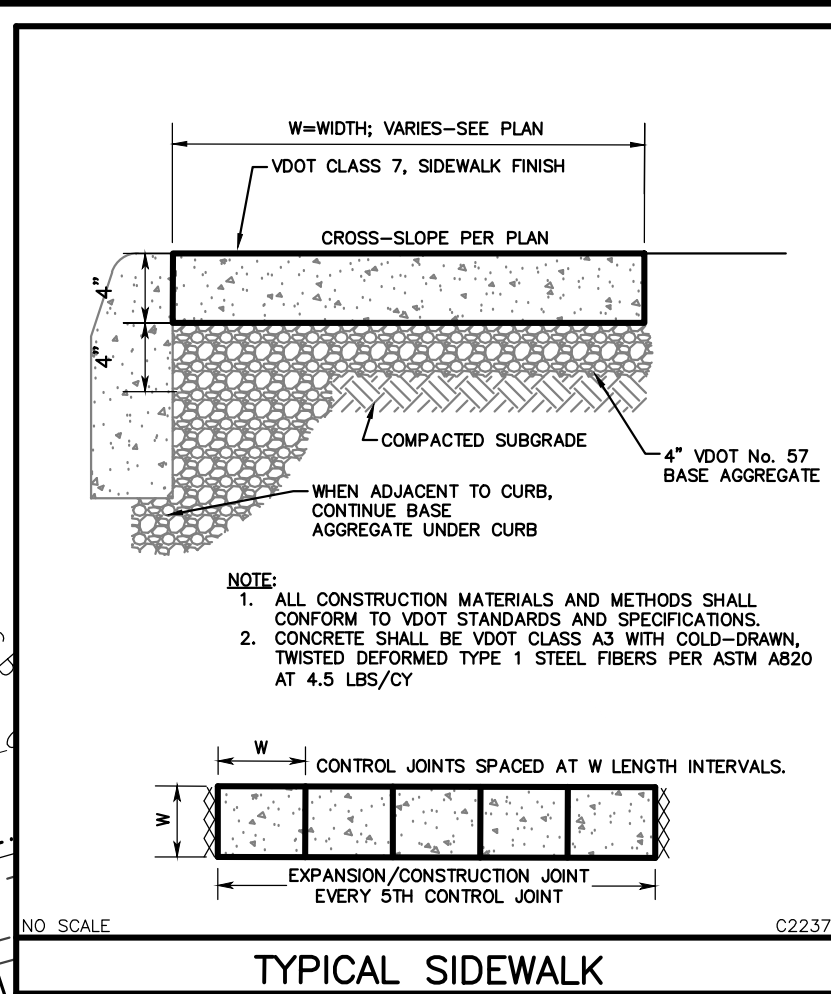
NOTE:

THE CONSTRUCTION OF THE
PROPOSED BUILDING WILL HAVE NO
IMPACT ON THE DRAINAGE FROM THE
AREA OF THIS PLAN CONTINUING TO
BE CONVEYED TO THE EXISTING
STORM WATER CHANNEL ON SITE AND
THEREFORE, NO CHANGE TO THE
CHARACTER OF RUNOFF OFF THE SITE
WILL OCCUR.



APPROVED: Engineering Date

APPROVED: Planning Date



SANITARY SEWER MH
RIM=2172.73
8\"PVC INVin=2136.0
8\"PVC INVin=2135.9
8\"PVC INVout=2135.8
(TO PUMP STATION)

D.B. 664 PG. 693;
P.B. 15 PG. 242 SLD. 516
ZONING: I-2
USE: INDUSTRIAL

PARCEL 500-(A)-5T
LOT 12A-1A
P.I.D. #170186
N/F HASH INVESTMENTS, LLC
INST. 2024003809;
PLAT IN INST. 2010008528
ZONING: I-2
USE: VACANT

BENCH MARK =
CHISELED SQUARE SET ON
CORNER OF CONC. APRON
ELEV.=2149.12'

8.2'x10.1'
METAL SHED

BOLLARD (TYP.)

CONTRACTOR SHALL TIE PROPOSED SEWER
LATERAL AND WATER LATERAL INTO
LATERALS FROM EXISTING BUILDING

LOT 12A-1B
AREA=6,500 S.F.

LOD LINES)
NOT
THIS DATE)

PROPOSED
2265 PROSPECT DRIVE
100' X 100' TITAN
METAL BUILDING FOR
TRUCK SHOP

NOTE: PAVEMENT WITHIN THE INTERIOR LOD
SHALL REMAIN AND THE CONCRETE PAD FOR
THE BUILDING SHALL BE PLACED ON TOP OF
THE EXISTING PAVEMENT.

NOTE:
HATCHED AREA OF PROPOSED PAVEMENT WILL
BE PAVING OVER EXISTING PAVEMENT. NO
DISTURBANCE OF THE EXISTING PAVEMENT
OUTSIDE THE LOD WILL TAKE PLACE.

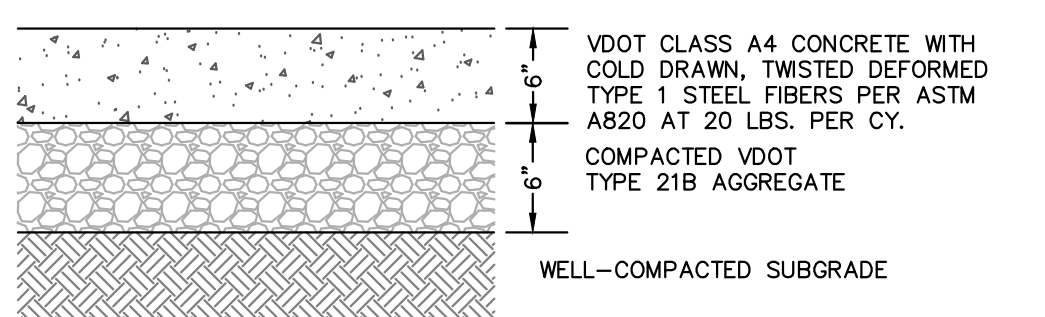
LIMITS OF TOPOGRAPHIC SURVEY
COLLECTED ON 12/13/25. INFORMATION
OUTSIDE OF THESE LIMITS WERE COLLECTED
ON 05/15/2019 BY THIS FIRM AND HAS
NOT BEEN FIELD VERIFIED THIS DATE.

EX. 20' PUBLIC
DRAINAGE ESMT.
PLAT INST. 2007010043

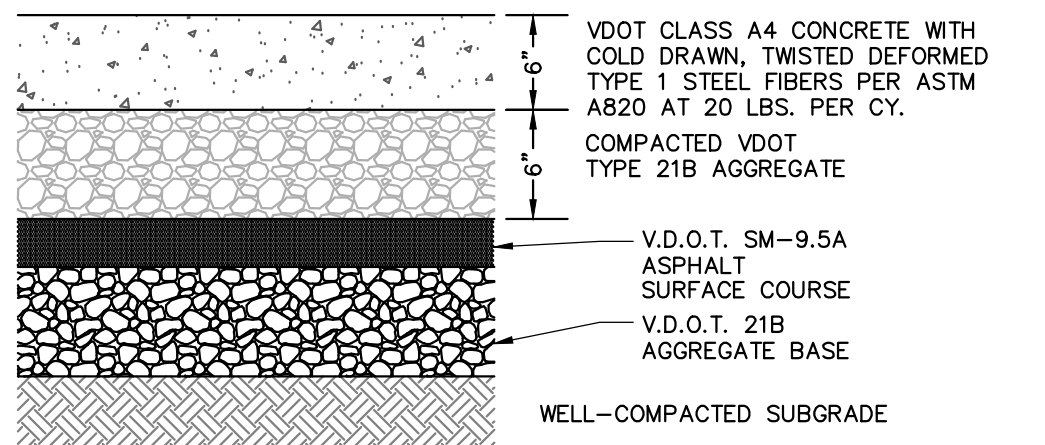
PROSPECT DRIVE, NE
(50' R/W - P.B. 13 PG. 16)

EX. 30' DRAINAGE ESMT.
& P.V.E. SHOWN ON
P.B. 13 PG. 16 SLD. 410

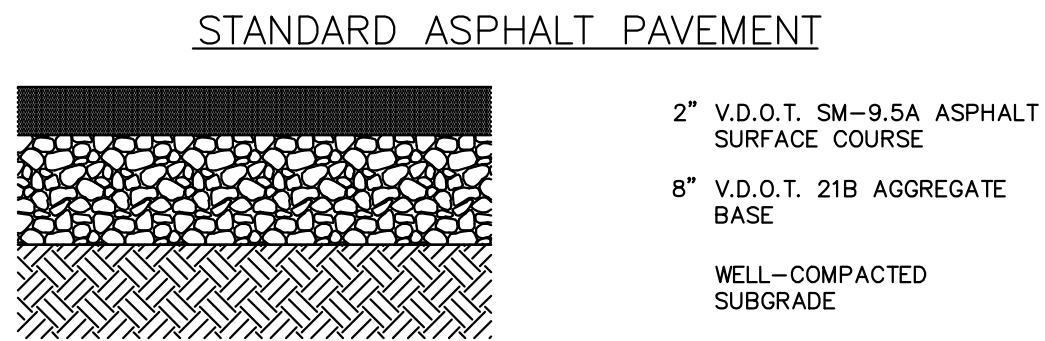
APPROXIMATE LOCATION OF SHADED
ZONE 'X' (TAKEN FROM AVAILABLE
COUNTY MAPPING DATED 09/25/2009)



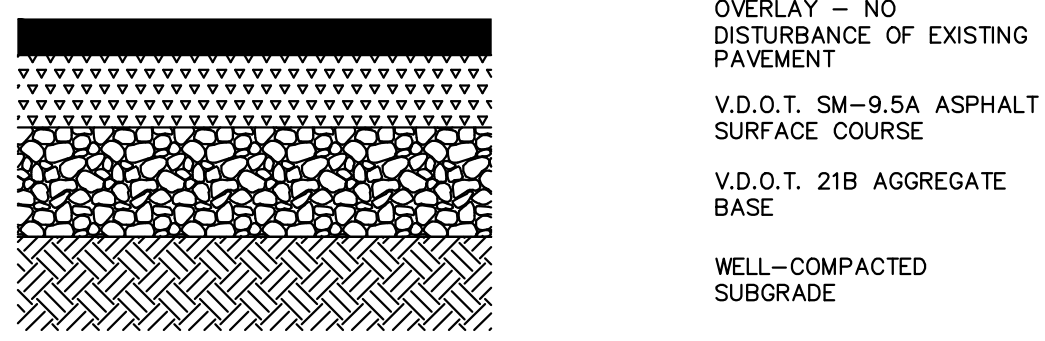
CONCRETE PAVEMENT



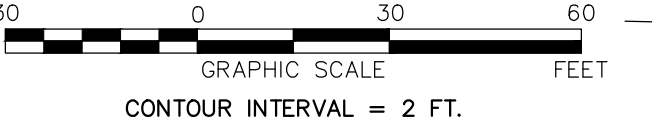
CONCRETE PAVEMENT OVERLAY



ASPHALT PAVEMENT OVERLAY



TYPICAL PAVEMENT SECTION



FORESIGHT
DESIGN SERVICES
ENGINEERING • LAND PLANNING • SURVEYING
1260 Radford Street
Christiansburg, Virginia 24073
Phone: (540) 381-6011
Fax: (540) 381-2773
Email: info@foresightdesignservices.com
Web: www.foresightdesignservices.com

SHAH DEVELOPMENT, LLC
2265 PROSPECT DRIVE N.E.
TRUCK SHOP MINOR SITE PLAN
TOWN OF CHRISTIANSBURG, VIRGINIA



REVISIONS		
NO.	COMMENTS	DATE

PROJECT TEAM	
PIC	JOHN T. NEEL, PE
PM	MATTHEW P. TOMLINSON, PE
DESIGN	LDR. ADS
ISSUE DATE	
01/29/2026	
FDS JOB NO.	
1755.2	
SHEET TITLE	
MINOR SITE PLAN	
SHEET NUMBER	
1 OF 1	