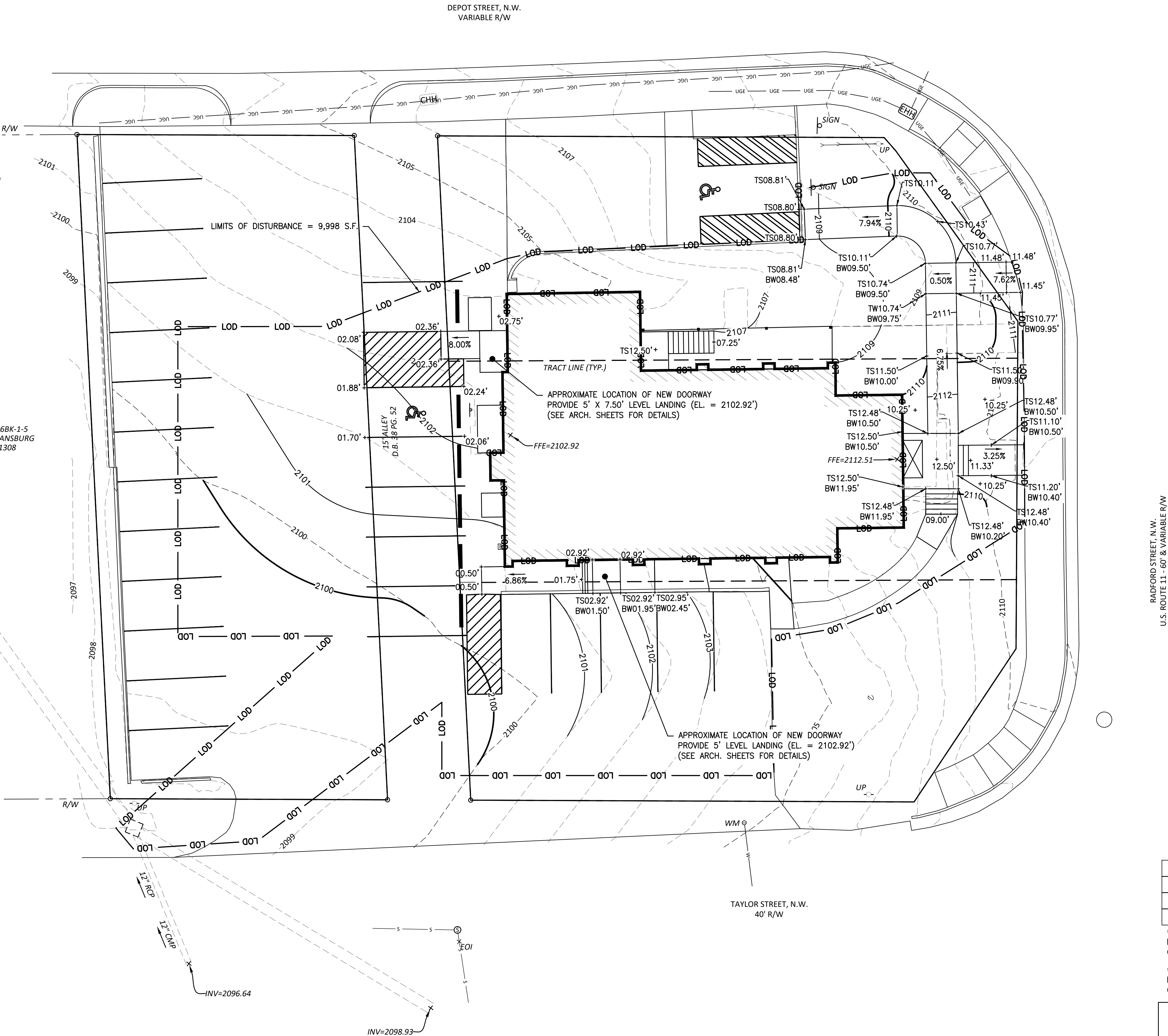
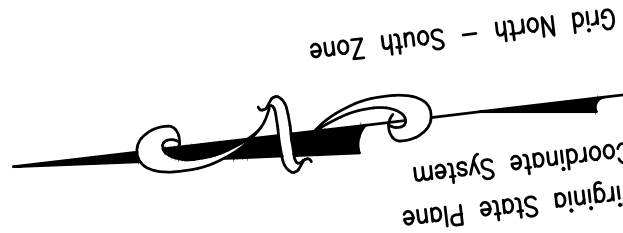


NOTES

- ALL DISTURBED AREAS SHALL BE GRADED TO MAINTAIN POSITIVE DRAINAGE TO A DRAINAGE FEATURE.
- ALL DISTURBED AREAS NOT OTHERWISE HARDSCAPED, SHALL BE SEEDED.
- MINIMUM COVER FOR DRAINAGE PIPE SHALL BE 1'-0" AND THE MINIMUM SLOPE SHALL BE 1.00% UNLESS OTHERWISE INDICATED.
- ADA ROUTE SHALL NOT EXCEED 2% CROSS SLOPE (TYP ENTIRE ADA ROUTE).
- ALL SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE (TYP ALL) OR 5% LONGITUDINAL SLOPE, UNLESS IDENTIFIED AS A RAMP.
- LANDINGS SHALL BE PROVIDED FOR ALL DOORWAYS AND SHALL HAVE A WIDTH AND LENGTH EQUAL TO OR GREATER THAN THE DOORWAY WIDTH. THE EXTERIOR DOOR LANDINGS SHALL NOT EXCEED A SLOPE OF 1.0%.
- DURING CONSTRUCTION, ALL EQUIPMENT SHALL BE STAGED WITHIN THE EXISTING PAVED AREAS. PRIOR TO DEPARTURE FROM THE SITE, ALL EQUIPMENT SHALL BE THOROUGHLY CLEANED/WASHED OF DEBRIS OR SEDIMENT. SEDIMENT LADEN DISCHARGES ARE NOT PERMITTED TO LEAVE THE SITE. ALL WASHWATER THAT IS DISCHARGED FROM EQUIPMENT WASHING MUST PASS THROUGH AN APPROVED DEWATERING DEVICE PRIOR TO RELEASE.
- AREAS ILLUSTRATED AS MILL/OVERLAY - AGGREGATE ADJUSTED REQUIRE FULL DEPTH MILLING TO THE EXISTING AGGREGATE ELEVATION. ADDITIONAL AGGREGATE WILL THEN BE PLACED TO ACHIEVE SUBGRADE PRIOR TO OVERLAY. NO SOIL DISTURBANCE SHALL OCCUR.
- ALL FOUR (4) EXISTING COLUMNS SUPPORTING THE ROOF ABOVE THE PORCH TO BE DEMOLISHED SHALL REMAIN. FIELD VERIFY THEIR LOCATION AND ADJUST STAIRS ACCORDINGLY.
- REMOVE EXISTING DECORATIVE ROCK TO FACILITATE CONSTRUCTION. MAINTAIN A CLEAN STOCKPILE ONSITE. IF IT IS FOUND THAT THE STOCKPILED ROCK IS NOT SUFFICIENT FOR REPLACEMENT PROCEEDING CONSTRUCTION, REPLACE OR SUPPLEMENT AT NO ADDITIONAL COST TO THE OWNER.

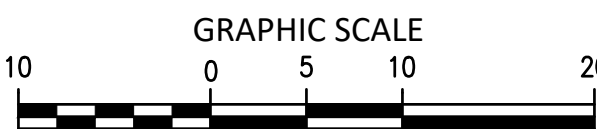


N/F  
TAX PARCEL 526-26BK-1-5  
POPPY'S OF CHRISTIANBURG  
INST. #2021011308

PARKING STALL TABULATION	PROVIDED
90° PARKING STALLS	23*
ADA PARKING STALLS	2**
TOTAL	25

\*90° PARKING STALL SUMMATION INCLUDES EXISTING STALLS OUTSIDE OF THE LIMITS OF DISTURBANCE (10 INSIDE).

\*\*ADA STALL SUMMATION INCLUDES THE EXISTING STALL OUTSIDE OF THE LIMITS OF DISTURBANCE (1 INSIDE).



CONTOUR INTERVAL = 1'

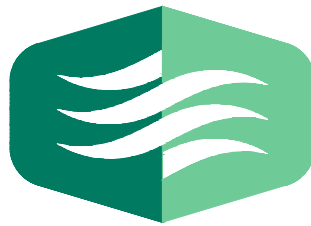
MONTGOMERY COUNTY COOPERATIVE  
EXTENSION RELOCATION AND RENOVATION

GRADING PLAN

No. Date Purpose of Document Issue

Designed	TCR/ACM
Drawn	TCR/ACM
Checked	MAM
Date	12-29-2025

Project No.  
18661



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& LITTON

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