

- NOTES:**
- COORDINATE WITH UTILITY OWNER FOR INSTALLATION OF TRAFFIC BEARING FIBER VAULT.
 - REMOVE EXISTING TREES TO A MINIMUM OF 18" BELOW GRADE. REPLACE ONE TREE IN LOCATION INDICATED WITH OCTOBER GLORY RED MAPLE.
 - REMOVE EXISTING FARM FENCE AND REPLACE WITH NEW ALONG PROPERTY / RIGHT OF WAY LINE (EXCEPT AREAS SHOWN OTHERWISE) AFTER GRADING WORK IS COMPLETED. REPLACEMENT FENCING SHALL BE WOVEN WIRE WITH PRESSURE TREATED WOODEN POSTS COMPLYING WITH VDOT DETAIL FE-W1.
 - EXISTING FARM GATE. REMOVE AND REUSE IN NEW FENCE INSTALLATION.
 - ADJUST EXISTING SANITARY SEWER MANHOLE TOPS TO PROPOSED GRADES. SEE SHEETS C401 & C402.
 - REPLACE GRAVEL ROAD SURFACE AS NECESSARY (MIN. 6" COMPACTED DEPTH VDOT 21B STONE).
 - PROPOSED CONDUITS FOR FUTURE ROADWAY LIGHTING INSTALLATIONS (SEE SHEET C401 FOR DETAILS). NO LIGHTING IS PROPOSED AT THIS TIME. LIGHTING TO BE INSTALLED AT A LATER DATE BY MONTGOMERY COUNTY EDA.
 - CONTRACTOR TO COORDINATE WITH AEP TRANSMISSION FOR ANY NECESSARY MODIFICATIONS TO EXISTING AGREEMENT FOR WORK WITHIN AEP OVERHEAD EASEMENT.

TRAFFIC NOTES:
 THE PROJECTED TOTAL BUILD OUT SQUARE FOOTAGE FOR THE PARCELS SERVED BY THIS ROAD IS 160,000 SQUARE FEET:
 LOT 2A - 10,000 S.F.
 LOT 2B - 50,000 S.F.
 LOT 2C (UNITED THERAPEUTICS) - 100,000 S.F.
 ALL LOTS ARE CONSIDERED AS LAND USE 760 - RESEARCH & DEVELOPMENT.
 FROM THE ITE MANUAL, 10TH/ EDITION, THE FOLLOWING TRIP GENERATION NUMBERS ARE CALCULATED:
 DAILY TRIPS 1841 WITH HALF ENTERING AND HALF EXITING
 AM PEAK = 67
 PM PEAK = 63
 LESS THAN 5% TRUCK TRAFFIC IS ASSUMED FOR DESIGN.
 TOTAL AADT = 1841
 AVERAGE CBR (FROM H&P FIELD DATA) IS 7.47, REDUCED BY 1/3 = 5.0
 SSV=10, DR = 15.3
 1-1/2" SM 9.5D = 1-1/2" SURFACE COURSE X 2.25 = 3.375
 3" BM 25.0D = 3" BM 25.0D X 2.25 = 6.75
 10" VDOT #21B STONE = 10" STONE X 0.6 = 6
 TOTAL = 16.125 IS GREATER THAN 15.3 THEREFORE OK
 NOTE: ABSOLUTE MINIMUM SECTION IS 1-1/2" SURFACE COURSE, 3" BM 25.0D, AND 9" VDOT #21B STONE = 15.5 > 15.3.

- ROAD DESIGN CRITERIA:**
- DESIGN SPEED - 25 MPH LOW SPEED URBAN DESIGN.
 - MIN. RADIUS - 198' PER VDOT STANDARD 803.23 (TC-5.11) FOR NORMAL CROWN.
 - ROADWAY DESIGN CRITERIA - GS-8 STANDARD IN COMMERCIAL / INDUSTRIAL AREAS.
 - MAXIMUM "K" VALUE FOR VERTICAL CURVE OF 12 IN CREST AND 26 IN SAG FOR DESIGN.
 - SPEED OF 25 M.P.H. - 8% MAXIMUM VERTICAL SLOPE.

- INTERSECTION SIGHT DISTANCE NOTES**
- POSTED SPEED LIMIT ON TECHNOLOGY DRIVE IS 25MPH
 - DESIGN SPEED FOR CORPORATE DRIVE S.E. IS 25MPH
 - REQUIRED SIGHT DISTANCE RIGHT (SDR) AND SIGHT DISTANCE LEFT (SDL) IS 280 FEET FOR 2 LANE MAJOR HIGHWAY @ 25MPH
 - SITE DISTANCE MEASUREMENT PARAMETERS:
 A. HEIGHT OF EYE = 3.5 FEET
 B. HEIGHT OF OBJECT = 3.5 FEET
 C. HEIGHT OF EYE LOCATION = 14.5 FEET BACK OF TECHNOLOGY DRIVE PAVEMENT EDGE
 - FIELD MEASURED AVAILABLE SDR = 600 FEET (PARTIALLY OBSCURED BEYOND THIS DISTANCE BY STREET LIGHT POLE)
 - FIELD MEASURED AVAILABLE SDL = 370 FEET (TO END OF TECHNOLOGY DRIVE R/W)

PLANT SCHEDULE
TREES

KEY	Scientific name COMMON NAME	MIN. PLANT SIZE SPACING/SAUCER	REMARKS	QUAN.
AR	<i>Acer rubrum</i> "October Glory", October Glory Red Maple	6" MIN. HEIGHT AT PLANTING	mulch B&B	1

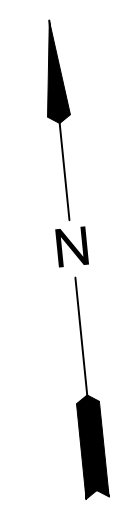
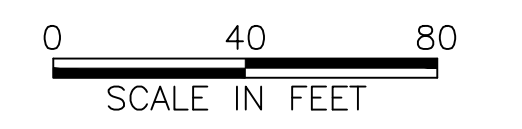
N/F
 PARCEL ID: 110463
 TAX MAP # 529-34 2A
 INDUSTRIAL DEVELOPMENT AUTHORITY OF MONTGOMERY COUNTY
 D.B. 937, PG. 269
 P.B. 24 PG. 349, SLIDE 1152 (PLAT)
 ZONING: I-2
 VACANT

N/F
 PARCEL ID: 110464
 TAX MAP # 529-34 2B
 INDUSTRIAL DEVELOPMENT AUTHORITY OF MONTGOMERY COUNTY
 D.B. 937, PG. 269
 P.B. 24 PG. 349
 ZONING: I-2
 FBCP PH 1 - REGIONAL
 SWM / WATER QUALITY FACILITY

CORPORATE DRIVE SE
 ROAD VARIABLE WIDTH R/W
 TOWN OF CHRISTIANBURG
 D.B. 937 PG 269
 P.B. 24 PG 349
 P.B. 27 PG 375

N/F
 PARCEL ID: 110465
 TAX MAP # 529-34 2C
 INSTRUMENT #2005001821
 P.B. 27 PG. 375
 AREA=16.646 ACRES
 ZONING: I-2

N/F
 PARCEL ID: 110462
 TAX MAP # 559- 1 1B
 BACKCOUNTRY.COM, INC.
 INSTRUMENT #2011008505
 P.B. 24 PG. 349
 ZONING: I-2
 WAREHOUSING/DISTRIBUTION CENTER



APPROVED: Engineering _____ Date _____

APPROVED: Planning _____ Date _____

HURT & PROFFITT
 INSPIRED / RESPONSIVE / TRUSTED

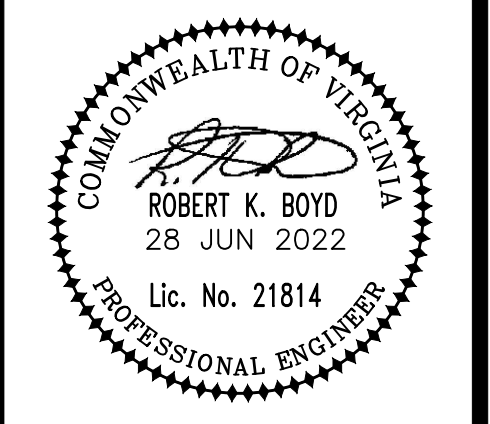
540.552.5592
 1861 PRATT DR, STE 1100
 CHRISTIANBURG, VA 24060

HANDP.COM
 BLACKSBURG, VA 24060

ENVIRONMENTAL
 SURVEYING • LAND DEVELOPMENT
 CONSTRUCTION TESTING & INSPECTION • CULTURAL RESOURCES

SITE PLAN
CORPORATE DRIVE SE EXTENSION
FALLING BRANCH CORP. PARK PH 1
CHRISTIANBURG, VA

PROJECT NO. 20220327
 LAT. 37.290631
 LONG. -80.288135
 DATE: 28 JUN 2022
 DRAWN BY: BEC
 CHECKED BY: MTC



Jun 29, 2022 - 1:59pm I:\DATA\01\Projects\2022\20220327\Engineering\CAD\20220327_SHEET_SITE_PLAN.dwg