

STANDARD CONSTRUCTION NOTES

- CONSTRUCTION METHODS**
1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS, VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS, AND LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS, WHERE APPLICABLE.
 2. THE LOCATION OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION WORK AND NOTIFY ENGINEER IMMEDIATELY IF LOCATIONS DIFFER FROM PLANS.
 3. THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-552-7001 OR 811 PRIOR TO ANY CONSTRUCTION WORK IN THIS AREA.
- CURB AND GUTTER**
1. THE CONTRACTOR SHALL USE A MINIMUM OF THREE (3) RUNNING CONSTRUCTION STAKES TO AVOID HARD BREAK LINES IN THE CURB UNLESS SPECIFICALLY CALLED FOR ON THE PLANS.
 2. THE MINIMUM LONGITUDINAL SLOPE FOR GUTTER PAN IS 0.5%, UNLESS OTHERWISE NOTED ON PLANS.
 3. A MINIMUM 20-FOOT TRANSITION FROM CG-6 TO CG-7 IS REQUIRED, UNLESS OTHERWISE NOTED ON THE PLANS.
 4. ALL CURB AND GUTTER SHOWN ON THE PLANS SHALL BE VDOT CG-6, CG-2, OR CG-7, UNLESS SPECIFICALLY NOTED OTHERWISE.
- UNDERGROUND UTILITIES**
1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LINE AND GRADE FOR ALL DRY UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRY UTILITY LINES AND GRADES AGAINST ALL PROPOSED UTILITIES SHOWN ON THE PLANS. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
 3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING TELEPHONE, CABLE, FIBER OPTIC, AND ELECTRICAL SERVICES TO THE PROJECT. CONTACT UTILITY PROVIDERS AS SOON AS POSSIBLE TO BEGIN COORDINATION.
 4. THE CONTRACTOR SHALL REVIEW SITE AND BUILDING DRAWINGS TO VERIFY COORDINATION OF UTILITY INVERTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
- TOWN RIGHT OF WAY**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR WORKING IN TOWN RIGHT OF WAY.
 2. CONTRACTOR IS RESPONSIBLE FOR HAVING A TOWN CERTIFIED RESPONSIBLE LAND DISTURBER ON SITE IN ACCORDANCE WITH TOWN REQUIREMENTS.
 3. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS AND PROVIDING THE TOWN WITH RECORDS OF REQUIRED INSPECTIONS.
 4. CONTRACTOR IS RESPONSIBLE FOR REVIEWING GUARDRAIL REQUIREMENTS WITH THE TOWN INSPECTOR PRIOR TO THE START OF CONSTRUCTION. GUARDRAIL LOCATIONS SHOWN ON THE PLANS ARE PER TOWN STANDARDS, BUT THE TOWN INSPECTOR SHALL HAVE THE ABILITY TO ALTER REQUIREMENTS.
 5. CG-12'S MUST BE INSTALLED AT CURB RETURNS WHERE THERE IS AN EXISTING OR POTENTIAL FUTURE SIDEWALK IN THE RIGHT OF WAY ALONG THE PROPERTY FRONTAGE. IF SIDEWALK IS NOT EXISTING OR PROPOSED, CURB MUST BE DEPRESSED TO ACCOMMODATE FUTURE SIDEWALK EXTENSIONS.
- ROOF DRAINS AND DOWN SPOUTS**
1. ALL DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL BE FURNISHED WITH SPLASH BLOCKS.
 2. ALL DOWN SPOUTS SHALL BE FURNISHED WITH A DOWNSPOUT/ROOFDRAIN TRANSITION BOOT. STUBBING OF DOWNSPOUT INTO ROOF DRAIN LATERAL WITHOUT A SUITABLE BOOT TRANSITION IS NOT PERMITTED.
 3. ALL ROOF DRAIN LATERALS SHALL BE INSTALLED IN ACCORDANCE WITH THE PREVAILING LOCAL JURISDICTIONAL PLUMBING CODE OR THE INTERNATIONAL PLUMBING CODE, WHICHEVER IS MORE STRINGENT.
 4. MINIMUM ALLOWABLE SLOPE FOR 4-INCH ROOF DRAIN LATERAL IS 2.08%.
 5. MINIMUM ALLOWABLE SLOPE FOR 6-INCH ROOF DRAIN LATERAL IS 1.04%.
 6. ROOF DRAIN LATERALS SHALL BE 6-INCH DIAMETER (SMOOTH-WALLED), UNLESS NOTED OTHERWISE ON THE PLANS.
- TELEPHONE, FIBER OPTIC, CABLE, AND GAS LINE SERVICES**
1. CONTRACTOR SHALL HAVE 'MISS UTILITY' MARK EXISTING UTILITY LINES PRIOR TO START OF CONSTRUCTION AND AS NECESSARY THROUGHOUT CONSTRUCTION.
 2. CONTRACTOR SHALL REVIEW PLANS TO VERIFY EXISTING LOCATIONS MARKED IN THE FIELD MATCH THOSE SHOWN ON THE PLANS.
 3. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY POTENTIAL DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
 4. CONTRACTOR SHALL POT-HOLE EXISTING UTILITIES AT CRITICAL CROSSING LOCATIONS PRIOR TO THE START OF CONSTRUCTION AND PROVIDE ENGINEER WITH LINE AND GRADE INFORMATION.
- BUILDING DOORS AND GRADES**
1. FINISHED GRADE SHALL BE 8-INCHES BELOW FINISHED FLOOR ELEVATION ALONG ALL BUILDING WALLS, IN AREAS WHERE PERVIOUS SURFACES ARE PROVIDED, UNLESS OTHERWISE NOTED. FINISHED GRADE FOR AREAS TO BE MULCHED SHALL BE AT TOP OF MULCH. FINISHED GRADE FOR AREAS TO RECEIVE SOD SHALL BE TO TOP OF SOD.
 2. ALL PERVIOUS SURFACES SHALL BE INSTALLED WITH A MINIMUM OF 5% SLOPE AWAY FROM THE BUILDING (FOR A MINIMUM OF 10-FEET), TO PROVIDE FOR POSITIVE DRAINAGE.
 3. CONTRACTOR SHALL COORDINATE LOCATION OF WEEP HOLES ALONG ALL BUILDING WALLS AND VERIFY REQUIRED SEPARATION BETWEEN WEEP HOLES AND FINISHED GRADES.
 4. CONTRACTOR SHALL REVIEW GRADING ALONG BUILDINGS WITH STOREFRONTS TO VERIFY REQUIRED SEPARATION IS PROVIDED.

STANDARD SITE PLAN NOTES

1. GENERAL CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
2. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, AND THE TOWN OF CHRISTIANBURG.
3. G.C. TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
4. G.C. SHALL OBTAIN A RIGHT OF WAY PERMIT FROM VDOT PRIOR TO ANY WORK WITHIN THE VDOT RIGHT OF WAY.
5. ANY PAVEMENT DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
6. ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
7. PAVEMENT FLOW LINE RADIUS OF 5' IS TYPICAL.
8. ASPHALT SURFACES SHALL HAVE A MINIMUM SLOPE OF 2% AND CONCRETE SURFACES SHALL HAVE A MINIMUM SLOPE OF 1%.
9. SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION WHERE APPLICABLE UNLESS SPECIFIED OTHERWISE.

STANDARD UTILITIES NOTES

1. G.C. SHALL COORDINATE THE EXACT SANITARY SEWER AND DOMESTIC WATER LATERAL BUILDING TIE IN LOCATIONS WITH THE ARCHITECTURAL PLANS.
2. ALL UTILITY SERVICE LATERALS OR LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND. WATER & SEWER CONNECTIONS SHALL CONFORM TO THE TOWN OF CHRISTIANBURG UTILITY STANDARDS AND SPECIFICATIONS AND INTERNATIONAL BUILDING CODE, LATEST EDITIONS.
3. THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED BUILDING AND ANY NECESSARY UTILITIES ON-SITE SUCH AS LIGHTING, ELECTRICAL, ETC.
3. THE G.C. SHALL COORDINATE TEMPORARY POWER FOR THE PROPOSED BUILDINGS.
4. PROPOSED BUILDINGS WILL NOT HAVE SPRINKLER SERVICE. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
5. PUBLIC UTILITY INSTALLATION AND TESTING SHALL BE IN ACCORDANCE WITH TOWN SPECIFICATIONS, LATEST EDITION.
6. SANITARY WASTE LINES FROM BUILDING SHALL BE A MINIMUM 4" PVC (MIN. SLOPE 2.08%) OR 6" PVC (MIN. SLOPE 1.04%). SEE ARCHITECTURALS.

LEGEND

- (D) VDOT STOP SIGN
- (H) HANDICAP PARKING & SIGN
- (M) METER WATER 5/8"
 - X TOWN OF CHRISTIANBURG UTILITY CONTR.
 - EXISTING
 - BEYOND W.M. BY PLUMB.
- (P) CONNECTION BY PLUMBER
- (S) SEWER LATERAL 6"
 - X UTILITY CONTR.
 - EXISTING
- (W) WATER LATERAL 5/8"
 - X TOWN OF CHRISTIANBURG UTILITY CONTR.
 - EXISTING
- (TW) 5/8" WATER LATERAL (NO METER)
- (CO) PROP. SANITARY SEWER CLEANOUT
- (S) EXISTING SANITARY SEWER CLEANOUT
- (M) EXISTING WATER METER

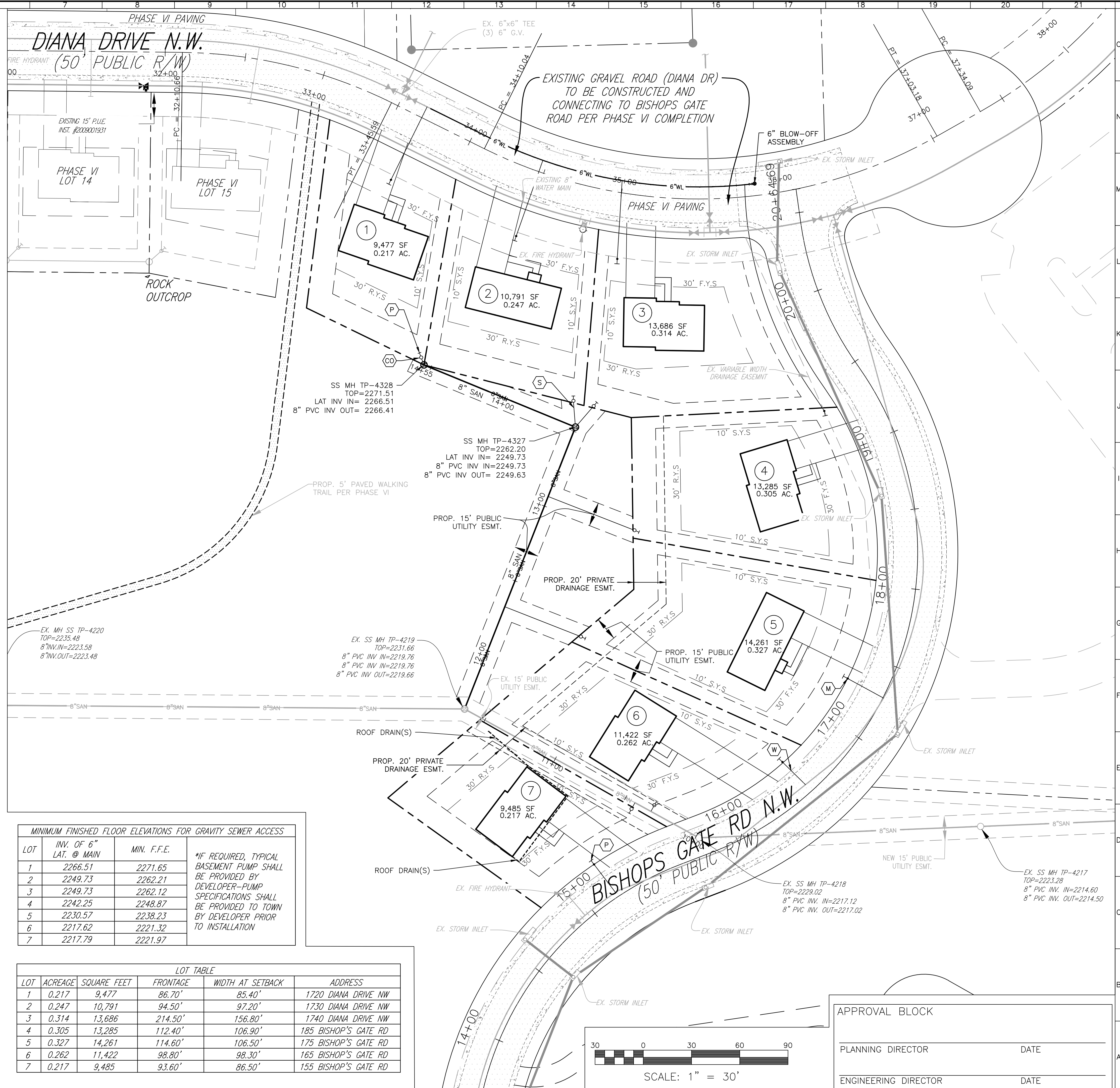
- PLAN NOTES:**
1. HOUSE SIZES, STYLE, AND LOCATIONS ARE SHOWN AS A GRAPHICAL REPRESENTATION OF THOSE TYPICALLY FOUND WITHIN OTHER PHASES OF THE KENSINGTON DEVELOPMENT. ACTUAL SIZES, STYLE, AND LOCATION MAY VARY FROM PLANS.
 2. ALL PROPOSED S.S. CLEANOUTS SHALL HAVE TRAFFIC BEARING CLEANOUT COVERS INSTALLED.

MINIMUM FINISHED FLOOR ELEVATIONS FOR GRAVITY SEWER ACCESS

LOT	INV. OF 6" LAT. @ MAIN	MIN. F.F.E.	*IF REQUIRED, TYPICAL BASEMENT PUMP SHALL BE PROVIDED BY DEVELOPER-PUMP. SPECIFICATIONS SHALL BE PROVIDED TO TOWN BY DEVELOPER PRIOR TO INSTALLATION
1	2266.51	2271.65	
2	2249.73	2262.21	
3	2249.73	2262.12	
4	2242.25	2248.87	
5	2230.57	2238.23	
6	2217.62	2221.32	
7	2217.79	2221.97	

LOT TABLE

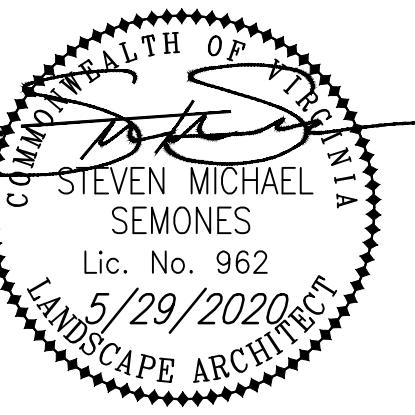
LOT	ACREAGE	SQUARE FEET	FRONTAGE	WIDTH AT SETBACK	ADDRESS
1	0.217	9,477	86.70'	85.40'	1720 DIANA DRIVE NW
2	0.247	10,791	94.50'	97.20'	1730 DIANA DRIVE NW
3	0.314	13,686	214.50'	156.80'	1740 DIANA DRIVE NW
4	0.305	13,285	112.40'	106.90'	185 BISHOP'S GATE RD
5	0.327	14,261	114.60'	106.50'	175 BISHOP'S GATE RD
6	0.262	11,422	98.80'	98.30'	165 BISHOP'S GATE RD
7	0.217	9,485	93.60'	86.50'	155 BISHOP'S GATE RD



Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
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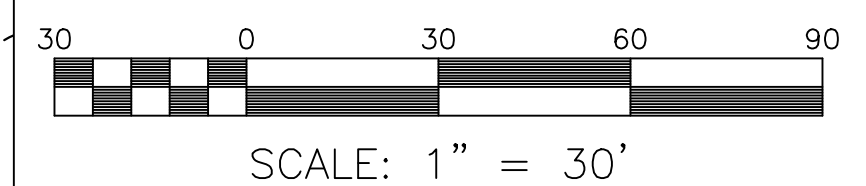
KENSINGTON PHASE IX
BISHOPS GATE ROAD NW
LAYOUT PLAN
RINER MAGISTERIAL DISTRICT
TOWN OF CHRISTIANBURG, VIRGINIA

DRAWN BY MRM
DESIGNED BY MRM
CHECKED BY SMS
DATE 11/01/16
SCALE 1"=30'
REVISIONS:
5/31/17
8/7/17
8/29/17
10/10/17
5/1/20
5/29/20

APPROVAL BLOCK

PLANNING DIRECTOR _____ DATE _____

ENGINEERING DIRECTOR _____ DATE _____



SHEET NO. **C4**
JOB NO. 24160066.00