

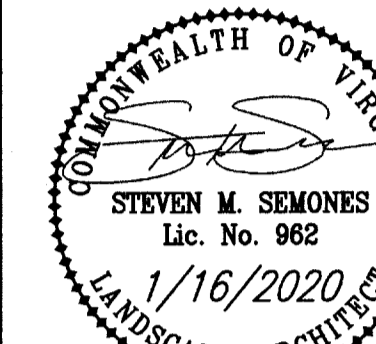


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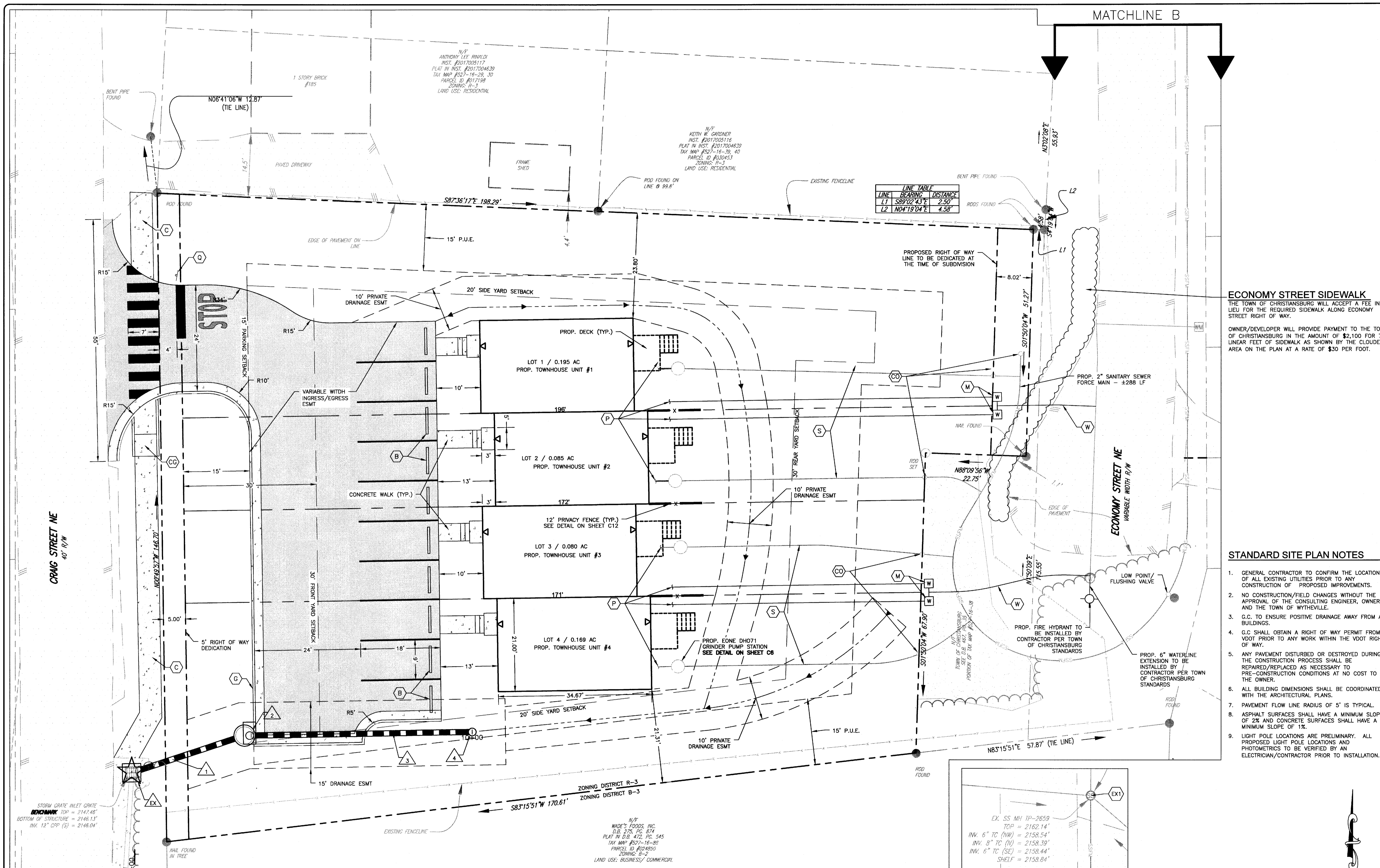


CHARTERHOUSE - CRAIG STREET TOWNHOMES

LAYOUT & UTILITY PLAN

SHAWVILLE DISTRICT
CHRISTIANSBURG, VIRGINIA

DRAWN BY KRO
DESIGNED BY SMS
CHECKED BY SMS
DATE 09/03/2019
SCALE 1" = 10'
REVISIONS
SUB #2 10/01/2019
SUB #3 11/01/2019
SUB #4 1/16/2020



LINK TABLE

LINE	BEARING	DISTANCE
L1	S89°02'43"E	2.50'
L2	N04°19'04"E	4.58'

ECONOMY STREET SIDEWALK
THE TOWN OF CHRISTIANSBURG WILL ACCEPT A FEE IN LIEU FOR THE REQUIRED SIDEWALK ALONG ECONOMY STREET RIGHT OF WAY.
OWNER/DEVELOPER WILL PROVIDE PAYMENT TO THE TOWN OF CHRISTIANSBURG IN THE AMOUNT OF \$2,100 FOR 70 LINEAR FEET OF SIDEWALK AS SHOWN BY THE CLOUDED AREA ON THE PLAN AT A RATE OF \$30 PER FOOT.

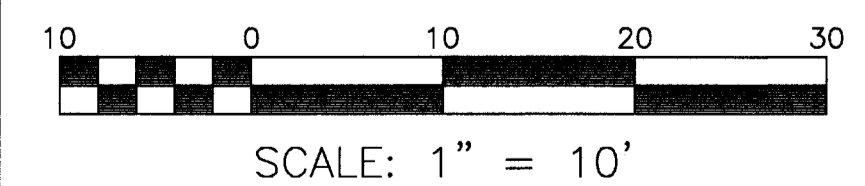
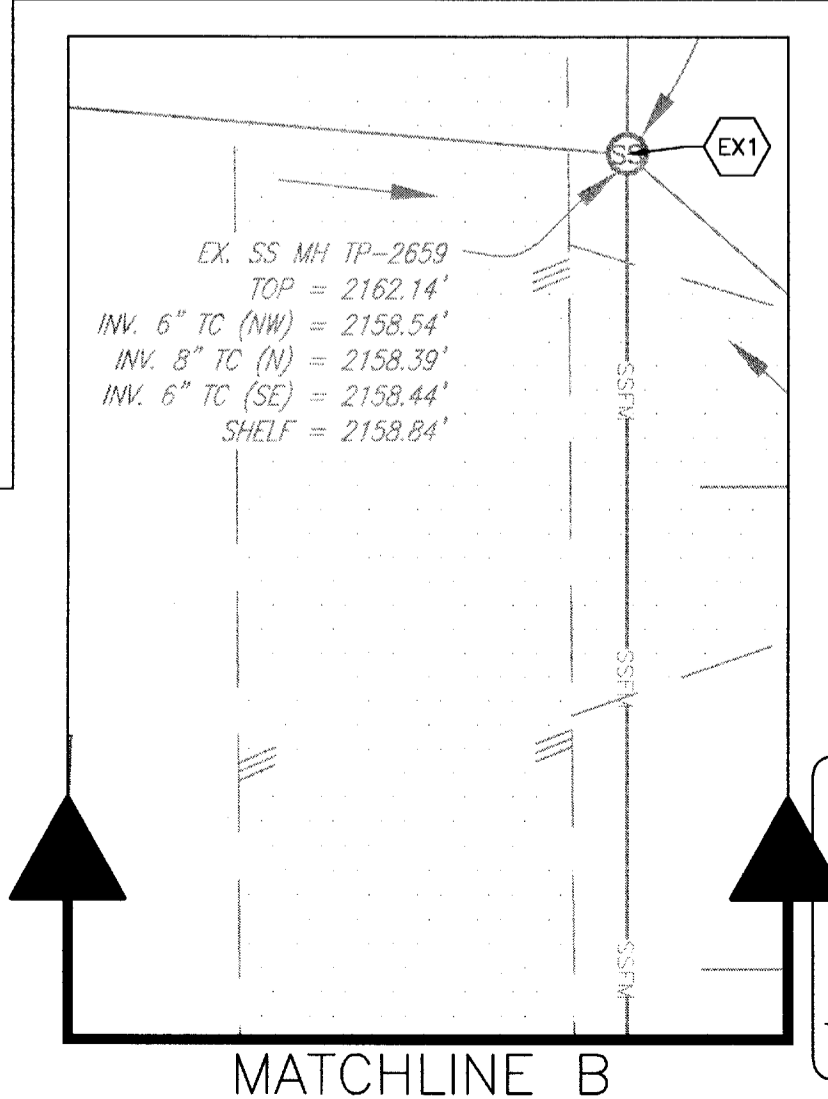
- STANDARD SITE PLAN NOTES**
- GENERAL CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, AND THE TOWN OF WYTHEVILLE.
 - G.C. TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
 - G.C. SHALL OBTAIN A RIGHT OF WAY PERMIT FROM VDOT PRIOR TO ANY WORK WITHIN THE VDOT RIGHT OF WAY.
 - ANY PAVEMENT DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
 - ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
 - PAVEMENT FLOW LINE RADIUS OF 5' IS TYPICAL.
 - ASPHALT SURFACES SHALL HAVE A MINIMUM SLOPE OF 2% AND CONCRETE SURFACES SHALL HAVE A MINIMUM SLOPE OF 1%.
 - LIGHT POLE LOCATIONS ARE PRELIMINARY. ALL PROPOSED LIGHT POLE LOCATIONS AND PHOTOMETRICS TO BE VERIFIED BY AN ELECTRICIAN/CONTRACTOR PRIOR TO INSTALLATION.

PAVEMENT MARKING NOTES:
1. STANDARD PARKING STRIPING: SURFACES SHOULD BE CLEAN AND DRY STRIPING SHALL BE 4" WIDE, COLOR WHITE

LOT TABLE

LOT	ACREAGE	SQUARE FEET	FRONTAGE	WIDTH AT SETBACK	ADDRESS
1	0.195	8,477.46	50.60'	49.75'	175 CRAIG STREET NE
2	0.085	3,718.00	21.00'	21.00'	173 CRAIG STREET NE
3	0.080	3,504.56	21.00'	21.00'	171 CRAIG STREET NE
4	0.169	7,404.75	52.30'	51.75'	169 CRAIG STREET NE

- LEGEND**
- (B) PARKING BUMPER BLOCK
 - (C) 5' CONCRETE SIDEWALK U.N.O.
 - (CC) CLEAN OUT 6" U.N.O.
 - (CC) CG-12 CURB RAMP
 - (EX) EXISTING SANITARY SEWER MH
 - (GI) EXISTING STORM GRATE INLET
 - (G) CG-6 CURB AND GUTTER
 - (H) HANDICAP PARKING & SIGN
 - (P) CONNECTION BY PLUMBER
 - (Q) VDOT R-1 STOP SIGN
 - (V) PAVEMENT JOINT
 - (S) SEWER LATERAL (6")
 - (X) UTILITY CONTRACTOR EXISTING
 - (M) WATER METER (1.5')
 - (X) TOWN OF CHRISTIANSBURG UTILITY CONTRACTOR EXISTING
 - (W) WATER LATERAL (2")
 - (X) TOWN OF CHRISTIANSBURG UTILITY CONTRACTOR EXISTING
 - (A) STANDARD DUTY ASPHALT PAVING
 - (C) CONCRETE SIDEWALK



TOWN OF CHRISTIANSBURG APPROVAL BLOCK

Will D.L.
PLANNING DIRECTOR
4/22/2020
DATE

Wayne D. McLean
ENGINEERING DIRECTOR
4/22/2020
DATE

C4

PROJECT NO 24190019.00