

PROJECT SUMMARY:

1. DEVELOPER: NRV MARKETPLACE, LLC
216 N. HUMPHREYS STREET
FLAGSTAFF, ARIZONA 86011
- PROJECT LOCATION: 2505-2665 MARKET STREET N.E.
CHRISTIANSBURG, VIRGINIA 24073
- OWNER: NRV MARKETPLACE, LLC C/O KR CHRISTIANSBURG, LLC
216 N. HUMPHREYS STREET
FLAGSTAFF, ARIZONA 86011
PARCEL ID: 027970 / TAX MAP ID: 436-5-1
INST. #2018008489 & INST. #2018008490 / P.B. 14, PG. 73
2. ALL WORK PROPOSED IN THESE PLANS IS TO BE DONE WITHIN THE ABOVE LISTED TAX PARCELS, EASEMENTS OBTAINED, OR PUBLIC RIGHTS-OF-WAY.
3. TYPE OF CONSTRUCTION [USE & OCCUPANCY CLASSIFICATION]: COMMERCIAL
RESTAURANT (GROUP A-2) 8,930 S.F.
RETAIL (GROUP M) 99,476 S.F. (24,275 S.F. NEW CONSTR. / 75,201 S.F. EXISTING)
4. ZONING DISTRICT: B3 - GENERAL BUSINESS
SETBACKS:
FRONT= 30' FROM ANY STREET RIGHT-OF-WAY
SIDE= NONE
REAR= NONE
PARKING= 15' FROM RIGHT-OF-WAY
5. ZONING/PLANNING AREAS (PHASE II SITE, SEE C4 FOR MASTER PLAN)
TOTAL PROJECT AREA: 560,626 S.F. (12.87 AC.)
TOTAL DISTURBED AREA: 339,086 S.F. (7.78 AC.)
TOTAL BUILDING AREA: ±108,406 S.F. (SEE ARCH.)
TOTAL NUMBER OF BUILDINGS: 6
BUILDING HEIGHT: VARIES, 35' MAX PER CODE, UP TO 70 FT W/ INCR. SETBACK
PRE-DEVELOPMENT LOT COVERAGE (% IMP): 1,070,134 S.F. (80.9%)
PROPOSED LOT COVERAGE (% IMP): NET CHANGE OF -32,320 S.F. (THIS PLAN)
6. GREENSPACE AND LANDSCAPING AREAS (ALL PERMITTED/PENDING DEVELOPMENT, SEE C4 FOR MASTER PLAN)
TOTAL AREA: 1,322,787 S.F.
IMPERVIOUS SURFACE AREA: 1,062,081 S.F. (80.3%, SEE MASTER PLAN)
GREENSPACE REQUIRED: 252,653 S.F. (19.1%, MATCH EXISTING NON-CONFORMITY)
GREENSPACE PROVIDED: 260,706 S.F. (19.7%)
LANDSCAPING REQUIRED: 126,327 S.F. (50% OF REQUIRED GREENSPACE)
LANDSCAPING PROVIDED: TBD (SEE MASTER PLAN)
TREES REQUIRED: 632 TREES (MIN. 6 FEET TALL)
TREES PROVIDED: TBD (SEE MASTER PLAN)
7. INTERIOR PARKING LOT GREENSPACE AND TREE REQUIREMENTS (ALL PERMITTED/PENDING DEVELOPMENT, SEE SHT C4)
PARKING GREENSPACE REQUIRED: 6,716 S.F. (TBD FOR FUTURE DEVELOPMENT)
PARKING GREENSPACE PROVIDED: NET CHANGE OF 12,862 S.F.
TREES REQUIRED: 32
TREES PROVIDED: NET CHANGE OF 38 PROVIDED
8. PARKING TABULATIONS NEW CONSTRUCTION & EXISTING (PHASE II SITE, SEE C4 FOR MASTER PLAN)
PARKING SPACES REQUIRED:
RESTAURANTS: 8,930 S.F. = 90 SPACES
RETAIL: 99,476 S.F. = 293 SPACES
TOTAL: 383 SPACES
PARKING SPACES PROVIDED: 756 SPACES
ACCESSIBLE SPACES REQUIRED: 18 (FOR GROUP A AND M PER SECTION 1106.1 TABLE 1106.1(1))
3 VAN ACCESSIBLE SPACE REQUIRED PER SECTION 1106.5*
*PER 2012 VIRGINIA CONSTRUCTION CODE EFFECTIVE JULY 14, 2014
ACCESSIBLE SPACES PROVIDED: 28 INCLUDING 8 VAN ACCESSIBLE
9. FRONTAGE REQUIREMENT OF ZONING: VEHICULAR ACCESS IS PROVIDED TO A PUBLIC STREET RIGHT-OF-WAY THROUGH A PERPETUAL UNOBSTRUCTED PAVED EASEMENT OF AT LEAST 30 FT IN WIDTH.
10. LOT AREA REQUIREMENT OF ZONING: NONE
11. THE SUBJECT PROPERTY IS ENCUMBERED BY EXISTING EASEMENTS. EASEMENTS HAVE BEEN SHOWN HEREON BASED ON AVAILABLE PUBLIC RECORDS, HOWEVER, THIS PLAN MAY NOT REFLECT ALL EASEMENTS OR ENCUMBRANCES THAT AFFECT THE SUBJECT PROPERTY.
12. THE TOPOGRAPHY, AS DEPICTED HEREON, IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED BY BALZER & ASSOCIATES BETWEEN JANUARY 18, 2018 AND FEBRUARY 12, 2018. ADJACENT PROPERTIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND NOT NECESSARILY THE RESULT OF A FIELD SURVEY.
HORIZONTAL DATUM: NAD83 (VIRGINIA SOUTH ZONE)
VERTICAL DATUM: NAVD88
13. NO GRAVES, STRUCTURES, OR OBJECTS MARKING A PLACE OF HUMAN BURIAL WERE FOUND AT TIME OF SURVEY.
14. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A F.E.M.A. DESIGNATED 100-YEAR FLOOD HAZARD ZONE. THE SUBJECT PROPERTY LIES WITHIN "UNSHADED ZONE X - OTHER AREAS", AS DEFINED BY F.E.M.A. & AS SHOWN ON F.I.R.M. MAP NO. 51121C014C, EFFECTIVE DATE OF SEPTEMBER 25, 2009. THIS DETERMINATION HAS BEEN MADE BY GRAPHIC METHODS ONLY. NO ELEVATION STUDY HAS BEEN PERFORMED AS A PART OF THIS PROJECT.
15. DESIGN DAILY WATER CONSUMPTION RATE: RESTAURANTS (±343 SEATS) = 17,150 GPD
RETAIL (99,476 SF) = 29,843 GPD
TOTAL: 46,993 GPD (PER TOW WATER STANDARDS)
16. THIS PLAN HAS BEEN PREPARED IN CONJUNCTION WITH THE PRELIMINARY GEOTECHNICAL INVESTIGATION AND EVALUATION ENTITLED "MARKETPLACE SHOPPING CENTER REDEVELOPMENT" BY CTI CONSULTANTS, INC. DATED FEBRUARY 2019. IF GROUNDWATER, KARST FEATURES, OR OTHER SUBSURFACE HAZARDS ARE ENCOUNTERED, THE DESIGN ENGINEER AND THE TOWN SHALL BE NOTIFIED IMMEDIATELY.
17. REFERENCE IS MADE TO THE INFRASTRUCTURE DESIGN PLANS ENTITLED "MARKET PLACE REDEVELOPMENT - PHASE I" BY BALZER & ASSOCIATES, LATEST REVISED 12/01/2018 AND APPROVED BY THE TOWN ON MARCH 8, 2019.
18. PROPERTY IS SUBJECT TO PERFORMANCE REQUIREMENTS OF THE PERFORMANCE AGREEMENT MADE BETWEEN THE TOWN OF CHRISTIANSBURG, THE ECONOMIC DEVELOPMENT AUTHORITY OF MONTGOMERY COUNTY, VA, AND KR CHRISTIANSBURG, LLC, DATED JANUARY 9, 2018.
19. PROPERTY IS SUBJECT TO THE REQUIREMENTS OF THE CONDITIONAL USE PERMIT APPROVED BY CHRISTIANSBURG TOWN COUNCIL ON SEPTEMBER 24TH, 2019.

APPROXIMATE EARTHWORK NOTES

CUT: 1,970 C.Y.
FILL: 3,806 C.Y. (1.1X COMPACTION RATE).
NET: 1,836 C.Y. FILL

1. ALL QUANTITIES ARE ENGINEER'S ESTIMATES FOR TOWN BONDING PURPOSES ONLY. ALL QUANTITIES SHALL BE CONSIDERED PRELIMINARY UNTIL FINAL SITE PLAN APPROVAL.
2. EARTHWORK QUANTITIES MAY BE BASED ON AN EXISTING TOP OF GRADE TO PROPOSED TOP OF GRADE COMPARISON ONLY AND THESE ARE APPROXIMATE. ACTUAL EARTHWORK REQUIRED WILL VARY BASED ON THE PRESENCE OF UNSATURABLE SOILS, TOPSOIL DEPTH, COMPACTION RATE, BASE STONE DEPTH, UTILITY TRENCH EXCAVATION, AND OTHER ENVIRONMENTAL FACTORS.
3. CONTRACTOR IS RESPONSIBLE FOR CONDUCTING THEIR OWN QUANTITIES TAKEOFF FOR BIDDING PURPOSES.

LINE AND CURVE TABLES

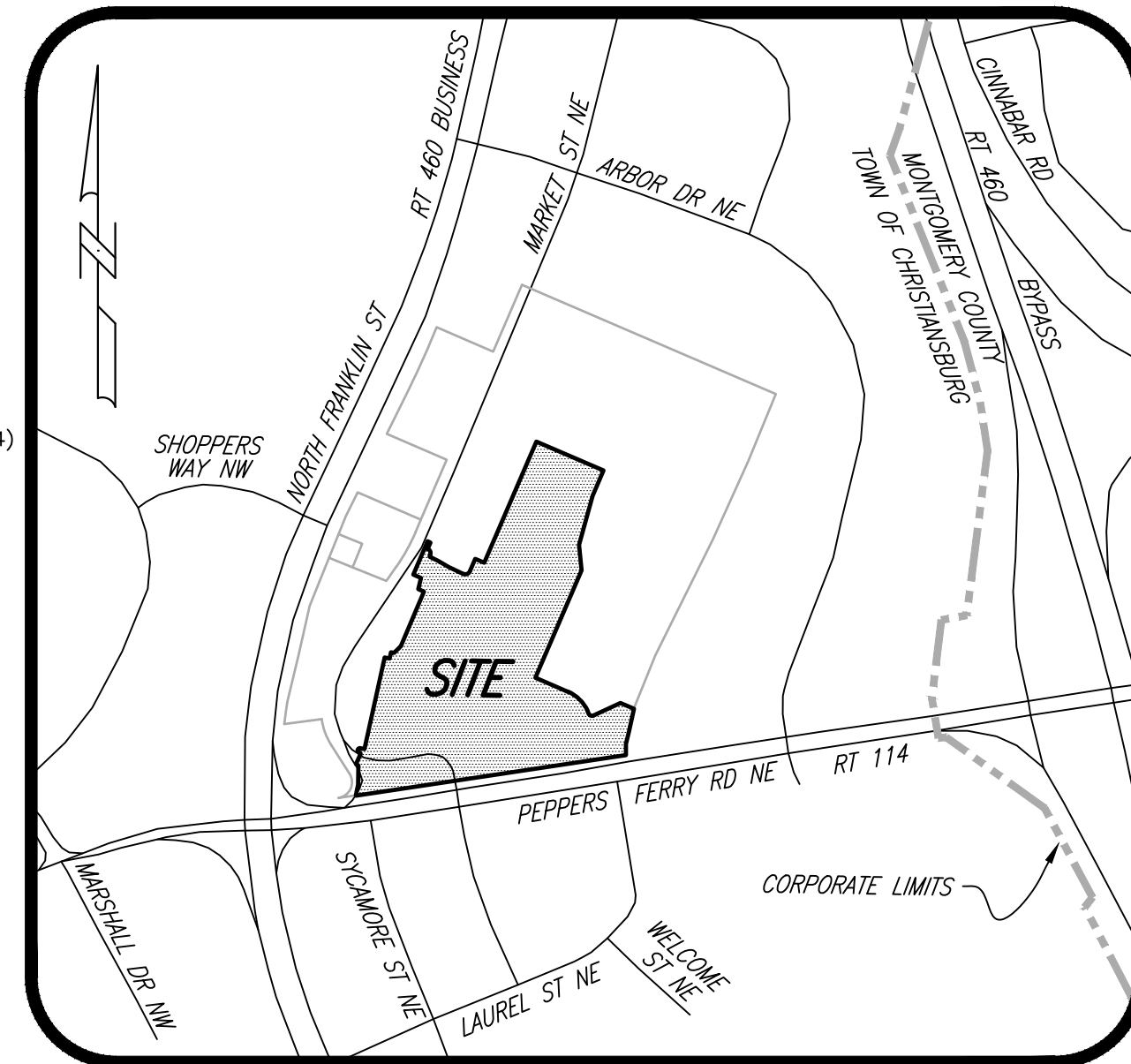
SEE SHEET C4 FOR BOUNDARY INFORMATION.

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	93.61'	47.00'	114°06'58"	N24°28'41"E	78.89'
C2	80.51'	183.00'	25°12'25"	N19°58'47"W	79.86'
C3	64.27'	1861.86'	1°58'40"	N7°37'22"E	64.27'
C4	216.11'	2991.79'	4°08'19"	N24°19'50"E	216.06'

LINE TABLE		
LINE #	LENGTH	BEARING
L1	72.60'	S12°36'57"W
L2	38.62'	S13°36'17"W
L3	33.25'	S02°13'37"W
L4	101.47'	N32°34'58"W
L5	111.51'	S82°37'28"W
L6	146.09'	N13°36'17"E
L7	146.09'	N12°36'57"E
L8	78.00'	N22°00'18"E
L9	207.34'	N22°00'18"E
L10	78.31'	N26°23'59"E
L11	203.00'	S66°42'57"E
L12	192.49'	N23°17'03"E
L13	192.52'	N66°42'57"W
L14	131.17'	N26°23'59"E
L15	181.44'	S66°42'57"E
L16	214.54'	N23°17'03"E

MARKET PLACE REDEVELOPMENT PHASE II

2505-2585 MARKET STREET N.E. TOWN OF CHRISTIANSBURG, VA



VICINITY MAP
SCALE: 1" = 500'

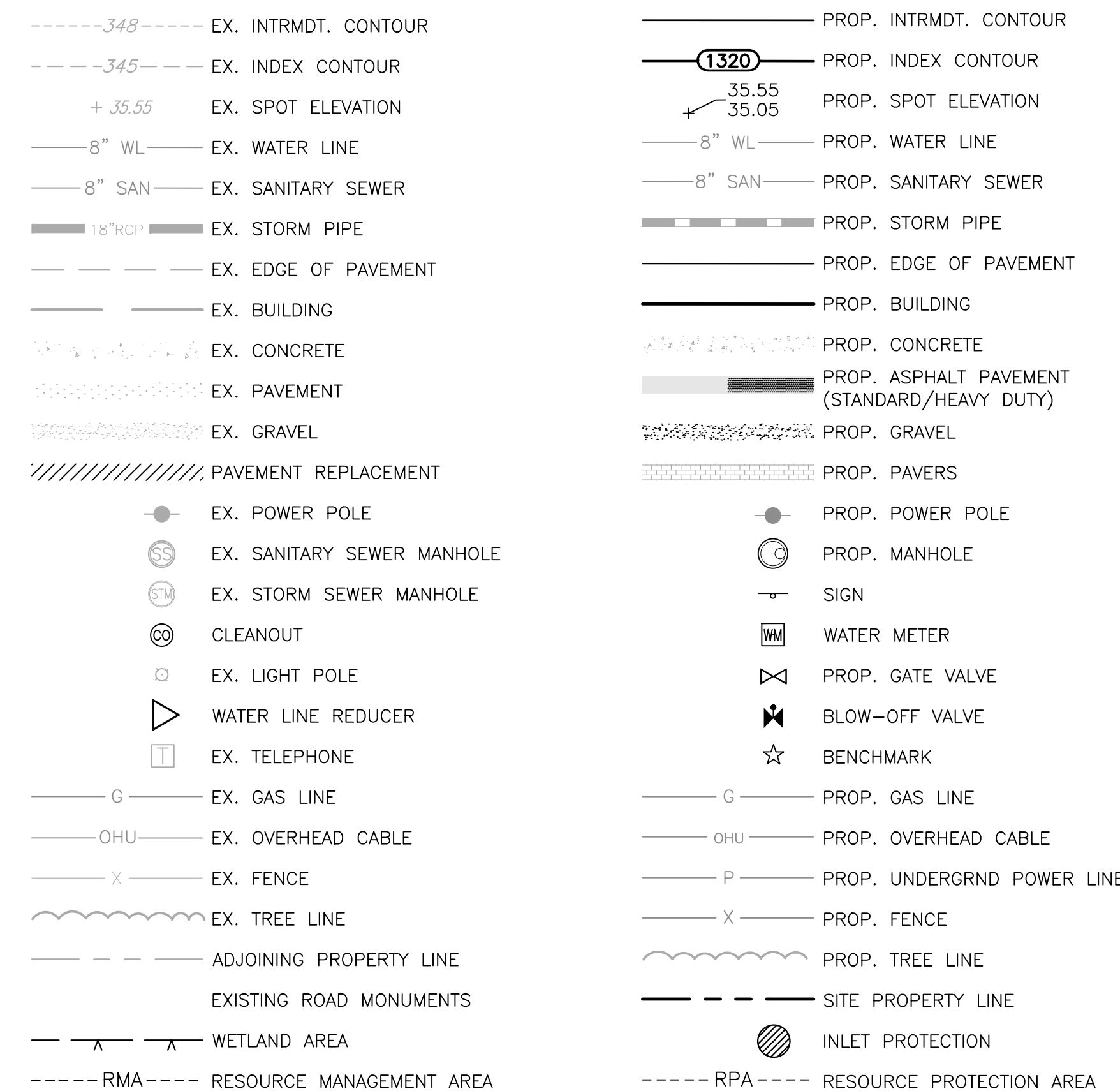
TOWN OF CHRISTIANSBURG, GENERAL NOTES:

- ALL TRANSPORTATION INFRASTRUCTURE, AND THE DESIGN AND CONSTRUCTION OF STORM DRAINS AND MANHOLES WILL BE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS, LATEST EDITION, CHAPTER 9 OF THE VDOT DRAINAGE MANUAL, 2008 EDITION, AS AMENDED, AND TOWN OF CHRISTIANSBURG STANDARDS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED ON THE PLANS OR BY TOWN POLICY.
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND REGULATION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATION 9VAC25-840-40 EROSION AND SEDIMENT CONTROL REGULATIONS.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- ALL INFRASTRUCTURES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH THE REGULATIONS, STANDARDS, AND SPECIFICATIONS SET FORTH BY THE COMMONWEALTH OF VIRGINIA AND THE TOWN OF CHRISTIANSBURG.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE LOCATION OF ALL UTILITIES PRIOR TO ACCEPTANCE BY THE TOWN. NO OTHER UTILITY SHALL BE LOCATED WITHIN 5 FEET, MEASURED HORIZONTALLY, OF ANY UTILITY TO BE MAINTAINED BY THE TOWN, EXCEPT WHERE CROSSING OF UTILITIES IS REQUIRED OR OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING.
- ALL WATERLINES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH AWWA STANDARD C-600, LATEST REVISION, AND THE REGULATIONS, STANDARDS, AND SPECIFICATIONS SET FORTH BY THE COMMONWEALTH OF VIRGINIA AND THE TOWN OF CHRISTIANSBURG.
- INSTALLATION OF WATER METERS, WATER METER BOXES, AND TAPS ON EXISTING WATER MAINS SHALL BE PERFORMED BY TOWN PERSONNEL AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL CONSTRUCT ALL WATER SERVICE LINES BETWEEN THE TAPS AND WATER METERS. THE LOCATION AND INSTALLATION OF EACH M SHALL BE COORDINATED BY THE CONTRACTOR.
- ALL SANITARY SEWER LINES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH THE COMMONWEALTH OF VIRGINIA'S SEWAGE COLLECTION AND TREATMENT REGULATIONS, LATEST EDITION, THE REGULATIONS, STANDARDS, AND SPECIFICATIONS SET FORTH BY THE COMMONWEALTH OF VIRGINIA AND THE TOWN OF CHRISTIANSBURG.
- CONNECTIONS TO EXISTING TOWN SANITARY SEWERS SHALL BE PERFORMED BY THE CONTRACTOR UNDER THE DIRECT SUPERVISION OF TOWN PERSONNEL. THE CONTRACTOR SHALL CONSTRUCT ALL SANITARY SEWER SERVICE LINES BETWEEN THE SANITARY SEWER MAIN AND THE CLEANOUT LOCATED AT THE PROPERTY OR EASEMENT LINE.
- ALL PARKING SPACES, INCLUDING ADA COMPLIANT SPACES, SHALL BE SIGNED AND STRIPED ACCORDING TO CODE OF VIRGINIA SECTION 36-99.11.
- ADA SIGNAGE SHALL BE PROVIDED ACCORDING TO TOWN STANDARD DETAIL HS-1 FOR ALL HANDICAPPED ACCESSIBLE PARKING SPACES.
- RIGHT-OF-WAY, LOT LINES, AND EASEMENTS ARE DEDICATED ON PLATS SEPARATE FROM THESE PLANS.
- SIGNAGE IS PERMITTED SEPARATELY IN ACCORDANCE WITH CHAPTER 42, "ZONING" OF THE CHRISTIANSBURG TOWN CODE.

ENGINEER'S NOTES

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.
ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE OWNER/DEVELOPER.
BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

LEGEND



ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EVCS	END VERT. CURVE STA.	REGD	REQUIRED RAILROAD
APPROX	APPROXIMATE	EW	ENDWALL	RR	REAR YARD SETBACK
ASPH	ASPHALT	EXIST	EXISTING FOUNDATION	RYS	SANITARY
BC	BACK OF CURB	FDN	FINISHED FLOOR	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	FF	FINISH GRADE	SD	STORM DRAIN
BLDG	BUILDING	FG	GRADE BREAK ELEVATION	SECT	SECTION
BLK	BLOCK	GSE	GRADE BREAK STATION	SE	SLOPE EASEMENT
BM	BENCHMARK	GBS	GRADE BREAK STATION	SS	SANITARY SEWER
BS	BOTTOM OF BOTTOM STEP	HOA	HOMEOWNERS ASSOCIATION	SSD	STOPPING SIGHT DISTANCE
BVCE	BEGIN VERT. CURVE ELEV.	HPT	HIGH POINT	SSE	SANITARY SEWER EASEMENT
EVCS	BEGIN VERT. CURVE STA.	HSD	HEADLIGHT SIGHT DISTANCE	STA	STATION
BW	BOTTOM OF WALL	INTX	INTERSECTION	STD	STANDARD
CB	CINDER BLOCK	INV	INVERT	STO	STORAGE
C&G	CURB & GUTTER	IP	IRON PIN	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	LT	LEFT	TBM	TEMPORARY BENCHMARK
CONC	CONCRETE	LVC	LENGTH OF VERTICAL CURVE	TBR	TO BE REMOVED
COR	CORNER	MH	MANHOLE	TC	TOP OF CURB
DBL	DOUBLE	MIN	MINIMUM	TEL	TELEPHONE
DEFI	DEFLECTION	MON	MONUMENT	TRANS	TRANSFORMER
D	DROP INLET	MBL	MINIMUM BUILDING LINE	TS	TOP OF TOP STEP
DIA	DIAMETER	MON	MONUMENT	TW	TOP OF WALL
DE	DRAINAGE EASEMENT	NOT	NOT	TYP	TYPICAL
ELEC	ELECTRIC	NBL	NORTH BOUND LANE	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEV	ELEVATION	PROP	PROPOSED	VERT	VERTICAL
ENTR	ENTRANCE	PUE	PUBLIC UTILITY EASEMENT	WBL	WEST BOUND LANE
EP	EDGE OF PAVEMENT	PVMT	PAVEMENT	YD	YARD
EVCE	END VERT. CURVE ELEV.	R	RADIUS		
		RT	RIGHT		
		R.O.W.	RIGHT OF WAY		

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TOWN OF CHRISTIANSBURG PLAN SUBMITTAL LOG

#	ISSUE DATE	COMMENT
1	05/01/2019	FIRST SUBMITTAL
2	06/01/2019	TOC COMMENTS
3	08/14/2019	APPROVAL SET
4	11/1/2019	REVISION A

OWNER/DEVELOPER CERTIFICATION

I, _____, HEREBY ACKNOWLEDGE THE SITE IMPROVEMENTS IMPOSED BY THIS PLAN AND THE CHRISTIANSBURG TOWN CODE. I HEREBY AGREE TO DEVELOP THE SUBJECT PROPERTY IN COMPLIANCE WITH THIS PLAN AND WILL SUBMIT ANY PLAN REVISIONS TO THE TOWN OF CHRISTIANSBURG FOR APPROVAL. I AGREE TO EXECUTE THE REVISIONS TO THE STORMWATER MAINTENANCE AGREEMENT AND POST ALL REQUIRED BONDS WITH THE TOWN FOR THIS DEVELOPMENT AND ACKNOWLEDGE ALL IMPROVEMENTS MUST BE COMPLETED TO THE TOWN'S SATISFACTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

NRV MARKETPLACE, LLC, A VIRGINIA LIMITED LIABILITY CO. DATE _____
BY: NEW RIVER VALLEY INVESTMENTS, LLC, A VIRGINIA LIMITED LIABILITY CO., ITS SOLE MEMBER
BY: RC CHRISTIANSBURG, LLC, A VIRGINIA LIMITED LIABILITY CO., ITS MANAGER
BY: FUTURE FAMILY, L.L.P., AN ARIZONA LIMITED LIABILITY LIMITED PARTNERSHIP, ITS CO-MANAGER
BY: GINO GINELLI, L.L.C., A DELAWARE LIMITED LIABILITY CO., ITS GENERAL PARTNER
BY: WALTER W. RECTOR, ITS MANAGER

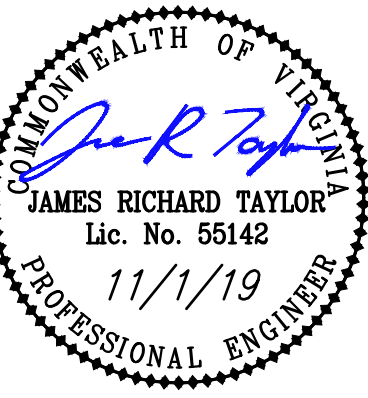
APPROVED: Engineering _____ Date _____

APPROVED: Planning _____ Date _____



BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
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MARKET PLACE REDEVELOPMENT
PHASE II
COVER

SHANSHILLE MAGISTERIAL DISTRICT
TOWN OF CHRISTIANSBURG, VIRGINIA

DRAWN BY: JRT
DESIGNED BY: JRT
CHECKED BY: SMS
DATE: 5/1/19
SCALE: AS NOTED

REVISIONS: 6/1/19
8/14/19
11/1/19

APPROVED: Engineering _____ Date _____

APPROVED: Planning _____ Date _____